



## Yarrow Road, Chorley

**Offers Over £279,995**

Ben Rose Estate Agents are pleased to present to market this beautifully presented three-bedroom semi-detached home, situated in a highly sought-after area of Chorley. Perfect for families and couples alike, this lovely property offers spacious living throughout and is ideally positioned within walking distance of Chorley town centre, providing easy access to local shops, supermarkets, restaurants, pubs, and excellent schools. The home also benefits from superb transport connections, including nearby rail links to Preston and Manchester, frequent bus services to Preston, Blackburn, and Wigan, and convenient access to the M6 and M61 motorways, making it ideal for commuters.

Stepping into the property, you are greeted by a bright and welcoming entrance hall that leads into the spacious lounge, beautifully lit by a feature bay window that fills the room with natural light. The separate dining room offers a fantastic space for entertaining, complete with French doors opening out onto the rear garden. To the rear, the modern extended kitchen is fitted with contemporary units and built-in appliances, while a convenient utility room provides additional storage and workspace. A versatile playroom, also with French doors leading to the garden, completes the ground floor layout.

To the first floor, there are three well-proportioned bedrooms, including two generous doubles and a comfortable single room. The modern three-piece family bathroom is finished to a high standard, offering both style and practicality.

Externally, the property features a small front garden, a driveway, and an integral garage providing off-road parking. The rear garden is a delightful outdoor space, featuring a paved seating area, neat lawn, and a garden shed, perfect for relaxing or entertaining.

This charming home is the ideal blend of modern comfort and convenient living in a desirable Chorley location.





































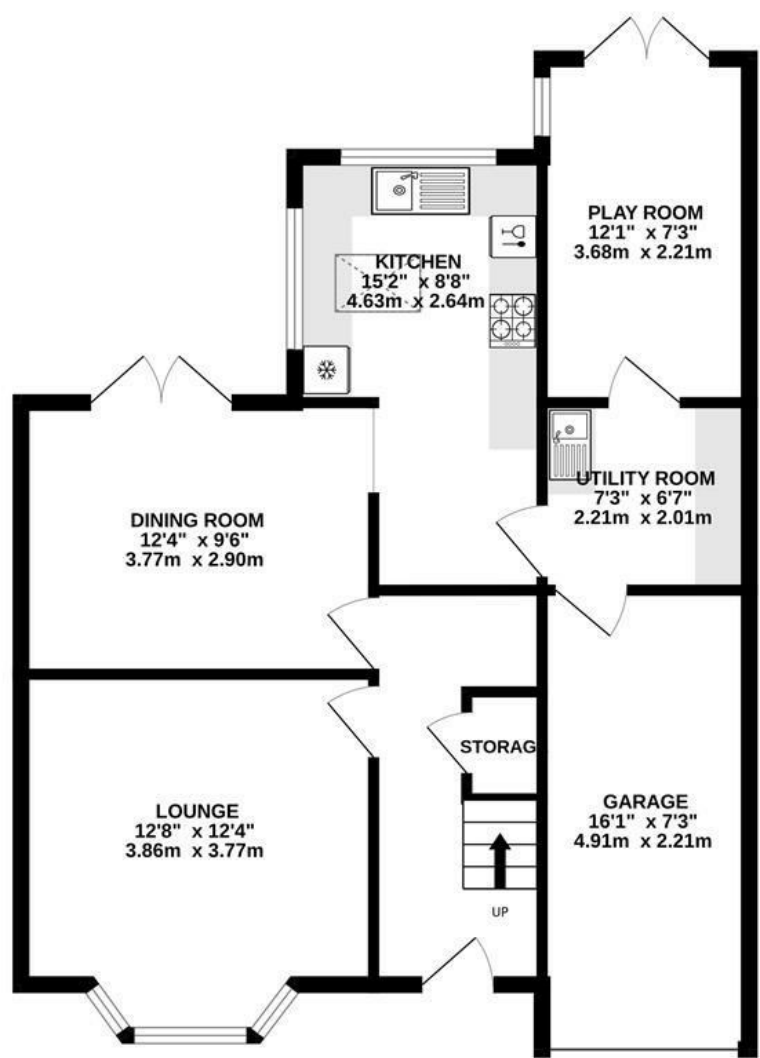




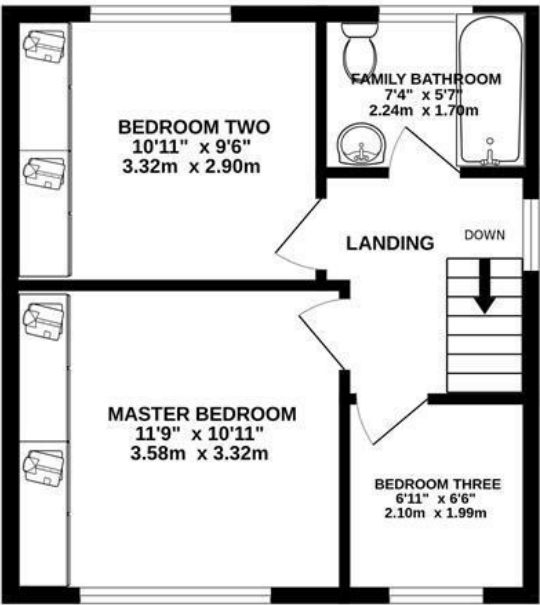


# BEN ROSE

GROUND FLOOR  
710 sq.ft. (66.0 sq.m.) approx.



1ST FLOOR  
373 sq.ft. (34.6 sq.m.) approx.



TOTAL FLOOR AREA : 1083 sq.ft. (100.7 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.  
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We do our best to ensure that our sales particulars are accurate and are not misleading but this is for general guidance and complete accuracy cannot be guaranteed. We are not qualified to verify tenure of a property and prospective purchasers should seek clarification from their solicitor. all measurements and land sizes are quoted approximately. The mention of any appliances, fixtures and fittings does not imply they are in working order.

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A	<div>72</div>	<div>85</div>
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales		
EU Directive 2002/91/EC		

Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO <sub>2</sub> emissions		
England & Wales		EU Directive 2002/91/EC

